

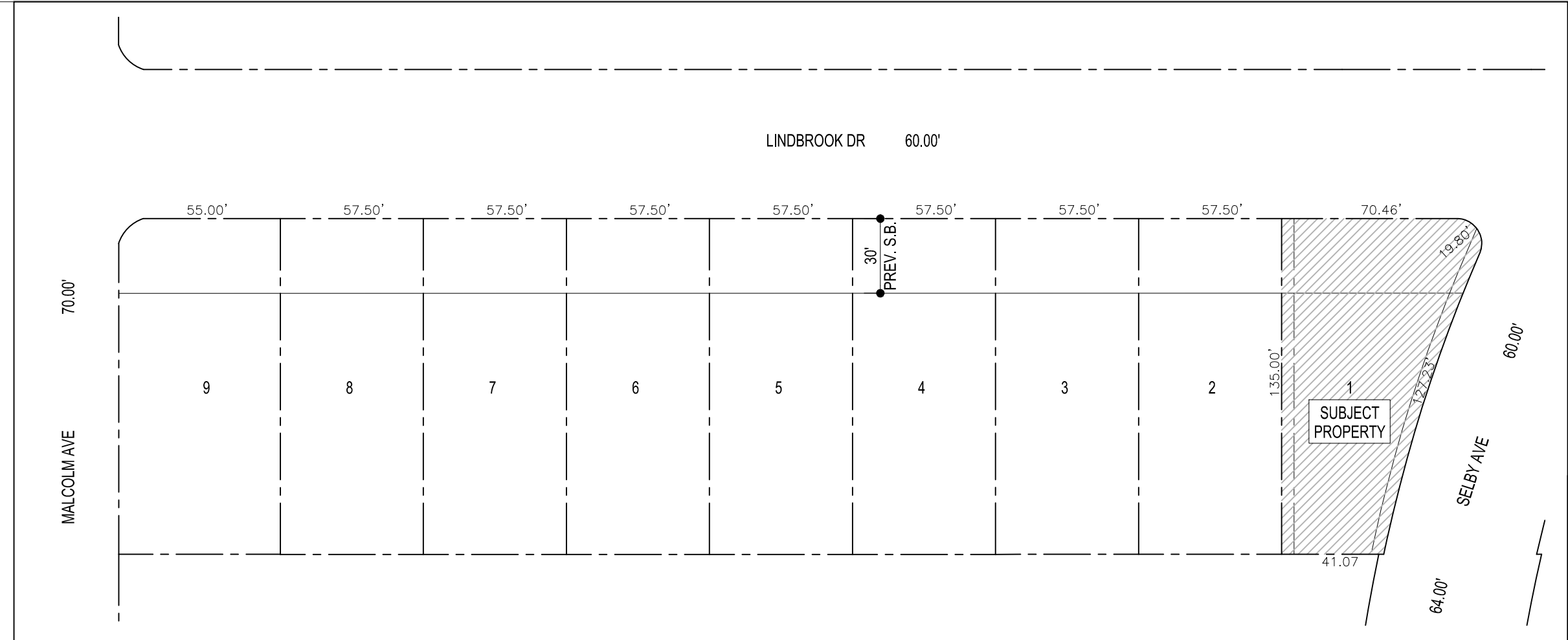
NEW 2 STORY O/ BASEMENT S.F.D. for Mr. & Mrs. KHAIAT , LOS ANGELES, CA



DIZITI
ARCHITECTS Inc.

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NEW 2-STORY O/ BASEMENT S.F.D.
for: LAURENT & AKEMI KHAIAT
10750 LINDBROOK DRIVE
LOS ANGELES, CA 90024
contact: LAURENT KHAIAT 310.339.7980



PREVAILING SETBACK MAP

1" = 50'-0" (3)

PREV. SETBACK CALCULATIONS

Lot	Frontage (ft)	Setback (ft)	Results
1	70.46	32	Number of lots: 9 Prevailing Setback: 30.00 ft Calculation: Total no of lots entered: 9 Total frontage entered: 527.96 ft 40% from total frontage entered: 211.8 ft No of lots used in the calculation: 9 Setback range used: 27.00 ft - 34.00 ft Total frontage used in the calculation: 527.96 ft Lots Used:
2	57.50	34	
3	57.50	28	
4	57.50	32	
5	57.50	30	
6	57.50	30	
7	57.50	28	
8	57.50	29	
9	55.00	27	

DRAFTING CONVENTION NOTES

- PRECEDENCE:**
LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DETAILS TAKE PRECEDENCE OVER ALL. NOTIFY ARCHITECT OF CONFLICTS OR DISCREPANCIES IN WRITING.
- DIMENSION CONVENTIONS:**
 - HORIZONTAL DIMENSIONS ARE SHOWN FROM FACE OF FINISH, UNLESS OTHERWISE NOTED.
 - DIMENSIONS NOTED "CLEAR" OR "CLR." MUST BE PRECISELY MAINTAINED: ALLOWING FOR THICKNESS OF MATERIALS.
 - DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL, UNLESS NOTED.
 - DIMENSIONS TO EXTERIOR WINDOW WALL ARE TO INSIDE FINISHED FACE OF THE WALL, UNLESS OTHERWISE NOTED.
 - DIMENSIONS TO EXTERIOR GLAZING ARE TO THE INSIDE FACE OF THE EXTERIOR GLAZING.
 - VERTICAL DIMENSIONS ARE FROM THE TOP OF THE FINISHED FLOOR, UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS. IF ANY ITEM OF WORK CANNOT BE LOCATED, DO NOT PROCEED WITH THE WORK BEFORE CLARIFYING WITH ARCHITECT.
 - VERIFY DIMENSIONS MARKED "V.I.F." PRIOR TO START OF CONSTRUCTION. REPORT INCONSISTENCIES TO ARCHITECT.
- DEFINITION OF TERMINOLOGY:**
 - "TYPICAL" MEANS IDENTICAL FOR ALL CONDITIONS, UNLESS OTHERWISE NOTED.
 - "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
 - "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.
 - "FURNISH" MEANS FURNISH ONLY, INSTALLATION BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
 - "INSTALL" MEANS PUT INTO PLACE, SUPPLIED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
 - "ALIGN" MEANS ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.

PARCEL PROFILE REPORT:

Address/Legal Information	Deed Ref No. (City Clerk)
PIN Number: 132B153 115	735847.7-820.56526.618992.2546815.2319609.2005920-1.
Lot/Parcel Area (Calculated): 8,140.8 (sq ft)	1827676.1565128.1533324.133508-09.1074127.1032521.
Thomas Brothers Grid: PAGE 632 - GRID B3	1019551.1002389
Assessor Parcel No. (APN): 4360004001	Building 1
Tract: TR 9070	Year Built: 1939
Map Reference: M B 121-42/46	Building Class: D95C
Block: 9	Number of Units: 1
Lot: 1	Number of Bedrooms: 3
Arb (Lot Cut Reference): None	Number of Bathrooms: 3
Map Sheet: 132B153	Building Square Footage: 2,495.0 (sq ft)
Jurisdictional Information	
Community Plan Area: Westwood	Additional Information
Area Planning Commission: West Los Angeles	Airport Hazard: None
Neighborhood Council: Westwood	Coastal Zone: None
Council District: CD 5 - Paul Koretz	Farmland Area: Area Not Mapped
Census Tract #: 2652.00	Urban Agriculture Incentive Zone: YES
LADBS District Office: West Los Angeles	Very High Fire Hazard Severity Zone: No
Planning and Zoning Information	Fire District No. 1: No
Special Notes: None	Flood Zone: Outside Flood Zone
Zoning: R1-1-O	Watercourse: No
Zoning Information (Z): ZI-2192	Hazardous Waste / Border Zone Prop: No
ZI-2452	Methane Hazard Site: Methane Buffer Zone
ZI-2462	High Wind Velocity Areas: No
General Plan Land Use: Low Residential	Special Grading Area (BOE Basic Grid Map A-13372): Yes
General Plan Note(s): Yes	Oil Wells: None
Hillside Area (Zoning Code): No	Seismic Hazards
Specific Plan Area: West L.A. Transportation Improvement & Mitigation	Active Fault Near-Source Zone
Subarea: None	Nearest Fault (Distance in km): 1.00000000
Special Land Use / Zoning: None	Nearest Fault (Name): Santa Monica Fault
Design Review Board: Yes	Region: Transverse Ranges
Historic Preservation Review: No	Los Angeles Basin
Historic Preservation Overlay Zone: None	Fault Type: B
Other Historic Designations: None	Slip Rate (mm/year): 1.00000000
Other Historic Survey Information: None	Slip Geometry: Left Lateral - Reverse
Mills Act Contract: None	Slip Type: Moderately - Poorly Constrained
CDU: Community Design Overlay: None	Down Dip Width (km): 13.00000000
CPIO: Community Plan Imp. Overlay: None	NSO: Neighborhood Stabilization Overlay: No
Subarea: None	POD: Pedestrian Oriented Districts: No
CUGU: Clean Up-Green Up: None	SN: Sign District: No
NSO: Neighborhood Stabilization Overlay: No	Streetscape: No
POD: Pedestrian Oriented Districts: No	Adaptive Reuse Incentive Area: None
SN: Sign District: No	Affordable Housing Linkage Fee: None
Streetscape: No	Residential Market Area: High
Adaptive Reuse Incentive Area: None	Non-Residential Market Area: High
Affordable Housing Linkage Fee: None	Transit Oriented Communities (TOC): Tier 3
Residential Market Area: High	CRA - Community Redevelopment Agency: None
Non-Residential Market Area: High	Central City Parking: No
Transit Oriented Communities (TOC): Tier 3	Downtown Parking: No
CRA - Community Redevelopment Agency: None	Building Line: None
Central City Parking: No	500 Ft School Zone: No
Downtown Parking: No	500 Ft Park Zone: No
Building Line: None	Assessor Information
500 Ft School Zone: No	Assessor Parcel No. (APN): 4360004001
500 Ft Park Zone: No	APN Area (Co. Public Works)*: 0.185 (ac)
Assessor Information	Use Code: 0100 - Residential - Single Family Residence
Assessor Parcel No. (APN): 4360004001	Assessed Land Val.: \$1,634,236
APN Area (Co. Public Works)*: 0.185 (ac)	Assessed Improvement Val.: \$456,233
Use Code: 0100 - Residential - Single Family Residence	Last Owner Change: 01/11/2011
Assessed Land Val.: \$1,634,236	Last Sale Amount: \$9
Assessed Improvement Val.: \$456,233	Tax Rate Area: 67
Last Owner Change: 01/11/2011	
Last Sale Amount: \$9	

SITE SPECIFIC NOTES

- "PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING, RESIDENTIAL, MECHANICAL, ELECTRICAL, PLUMBING, GREEN AND ENERGY CODES"
- "THE PROJECT CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT ADJACENT PROPERTIES, WORKERS, AND OTHER PERSONS DURING EXCAVATION AND SITE PREPARATION OPERATIONS."
- "THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D, (R313, 12.21A17(d))"
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

LEGAL DESCRIPTION

PROJECT ADDRESS: 10750 LINDBROOK DR., LOS ANGELES, CA 90024
 BUILDING DEPARTMENT: CITY OF WEST LOS ANGES
 A.P.N.: 4360-004-001 TYPE OF CONSTRUCTION: V-B
 TRACT: TR 9070 LOT: 1 BLOCK: 9
 MAP REF.: M B 121-42/46 MAP SHEET: 132B153
 LOT SIZE: 8,140.8 (sq ft) ZONE: R1-1-O

SCOPE OF WORK

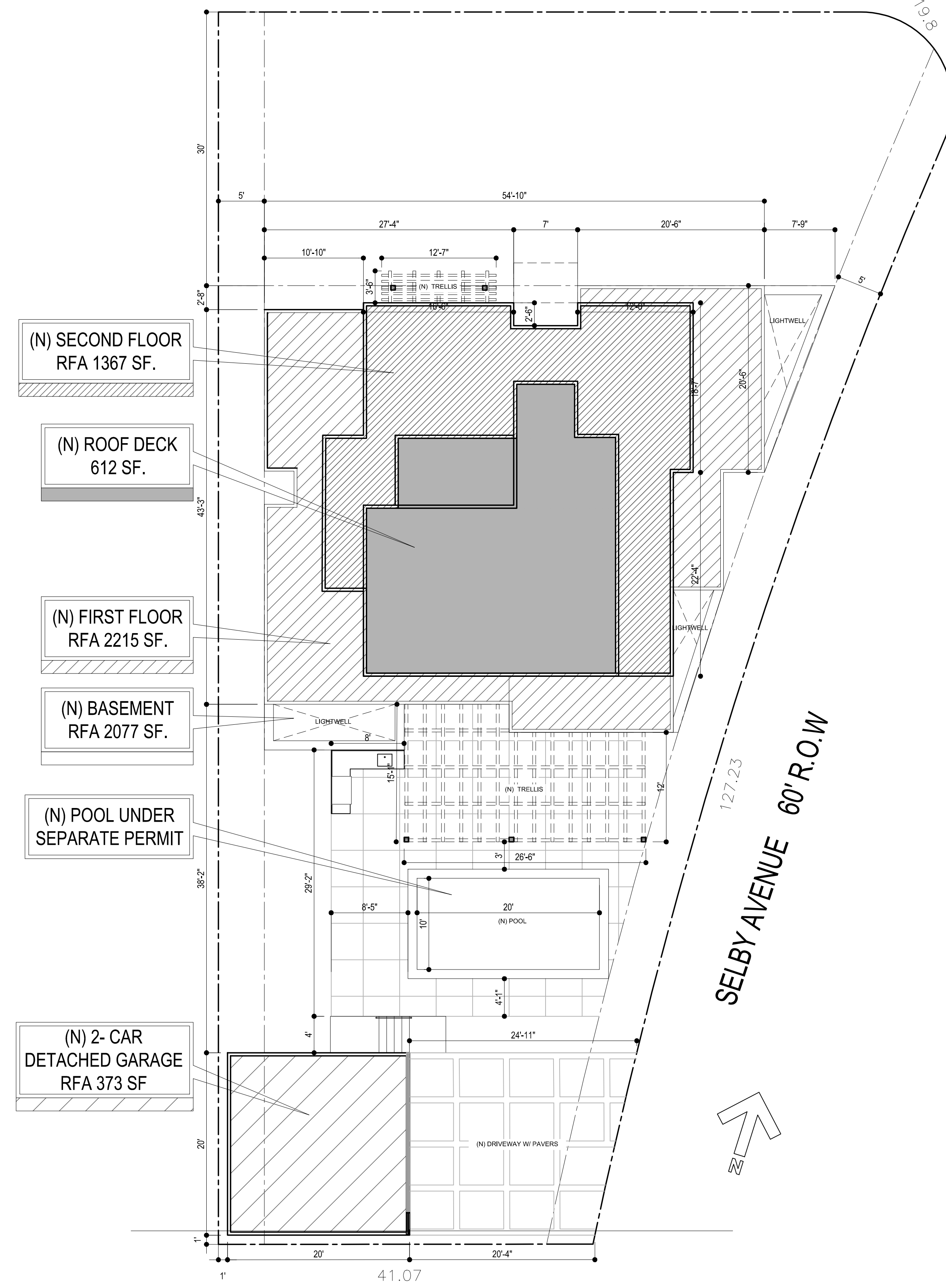
- NEW 1,199 SF THREE-STORY ACCESSORY DWELLING UNIT PER G
 TYPE V-B ON SLAB FOUNDATION

FLOOR AREA ANALYSIS

DESCRIPTION	SCHOOL FEES ZONING CODE	AREA	R.F.A.
(E) S.F.D.	-	-	-
ENTRY PORCH	-	-	-
STORAGE	-	-	-
GARAGE	-	-	-
PATIO COVERS	-	-	-
OTHER AREAS	-	-	-
TOTAL EXISTING			
FIRST FLOOR	-	-	-
SECOND FLOOR	-	-	-
BASEMENT	-	-	-
GARAGE	-	-	-
TOTAL PROPOSED			
TOTAL			

LOT AREA: 14,941 SF x 40% + 1,500= 7,476.4 SF MAX R.F.A. > 3,058 SF addition is O.K.
 AREAS ARE CALCULATED FOR CODE PURPOSES ONLY. SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

LINDBROOK DRIVE 60' R.O.W
70.46



SITE PLAN

1/8" = 1'-0" (1)

NO.	REVISIONS
4.	
3.	
2.	
1.	

CAD FILE: 2108-KHAIAT-MSTR1
 SCALE: AS NOTED
 DRAWN BY: JCC
 DATE: APRIL 16, 2021
 PHASE: PRELIMINARY
 SHEET TITLE: SITE PLAN & GENERAL NOTES
 DRAWING NUMBER:

A-1.1

JOB #: 2108-KHAIAT

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWINGS, ARE THE PROPERTY OF FERNANDO DI ZITI, ARCHITECT, AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION, FOR ANY PURPOSE WHATSOEVER, WITHOUT THE WRITTEN PERMISSION OF FERNANDO DI ZITI, ARCHITECT.

PLAN CHECK NOTES (RESIDENTIAL)

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOKUP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM R306.3
- KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY. R306.4
- BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. R307.2
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). R308.6.9
- WATER HEATER MUST BE STRAPPED TO WALL. SEC. 507.3, LAPC
- FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 5'4" ABOVE THE FLOOR. 6109 OF LABC
- FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL NO. 2977, 3162B
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. R309.4
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. R314.2
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. R315.2
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. R303.1
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.
- NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" C.W.B. EACH SIDE
- 1-HR. FIRE RESISTING PARTITION. 2x4 STUDS MIN. @ 16" O.C. W/ 5/8" TYPE 'X' G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.
- NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN

NOTES:
ALL DIMENSIONS ARE BASED ON THEIR RELATIONSHIP TO EXISTING CONSTRUCTION. CAREFULLY LAY OUT WORK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING. IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE LAYOUT.

DEMOLITION NOTES:
DEMOLITION SHOWN IS FOR GENERAL REFERENCE ONLY. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW WORK AND PATCH BACK AS REQUIRED. ALL EXISTING CONSTRUCTION TO REMAIN. REMOVE ALL UNUSED ROOFTOP EQUIPMENT, CURBS, ETC.

SANICITING:
THE OWNER SHALL PROVIDE ALL SAMICITING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB AND FOOTINGS FOR ALL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS.

ASBESTOS ABATEMENT:
THE OWNER SHALL PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT.

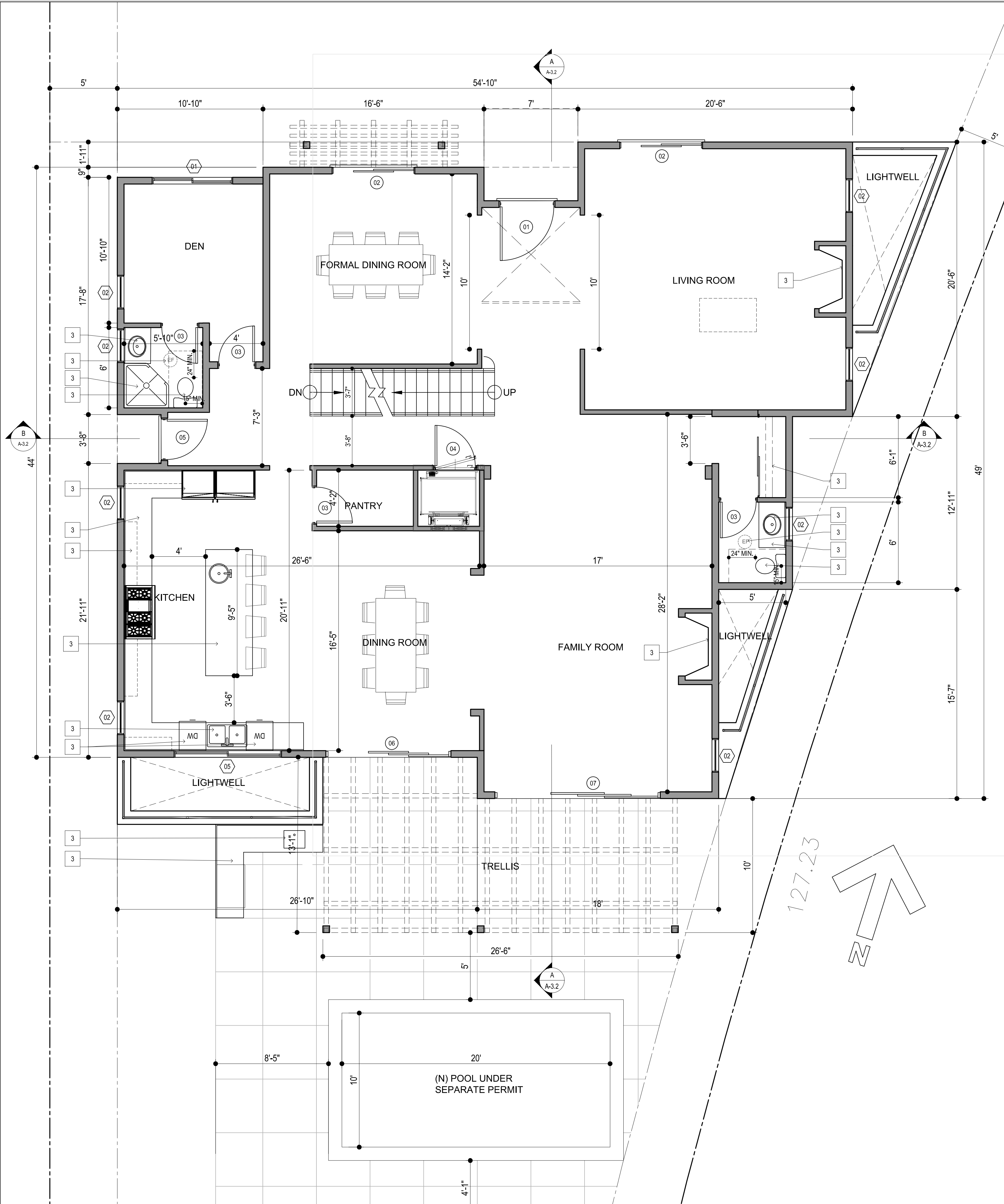
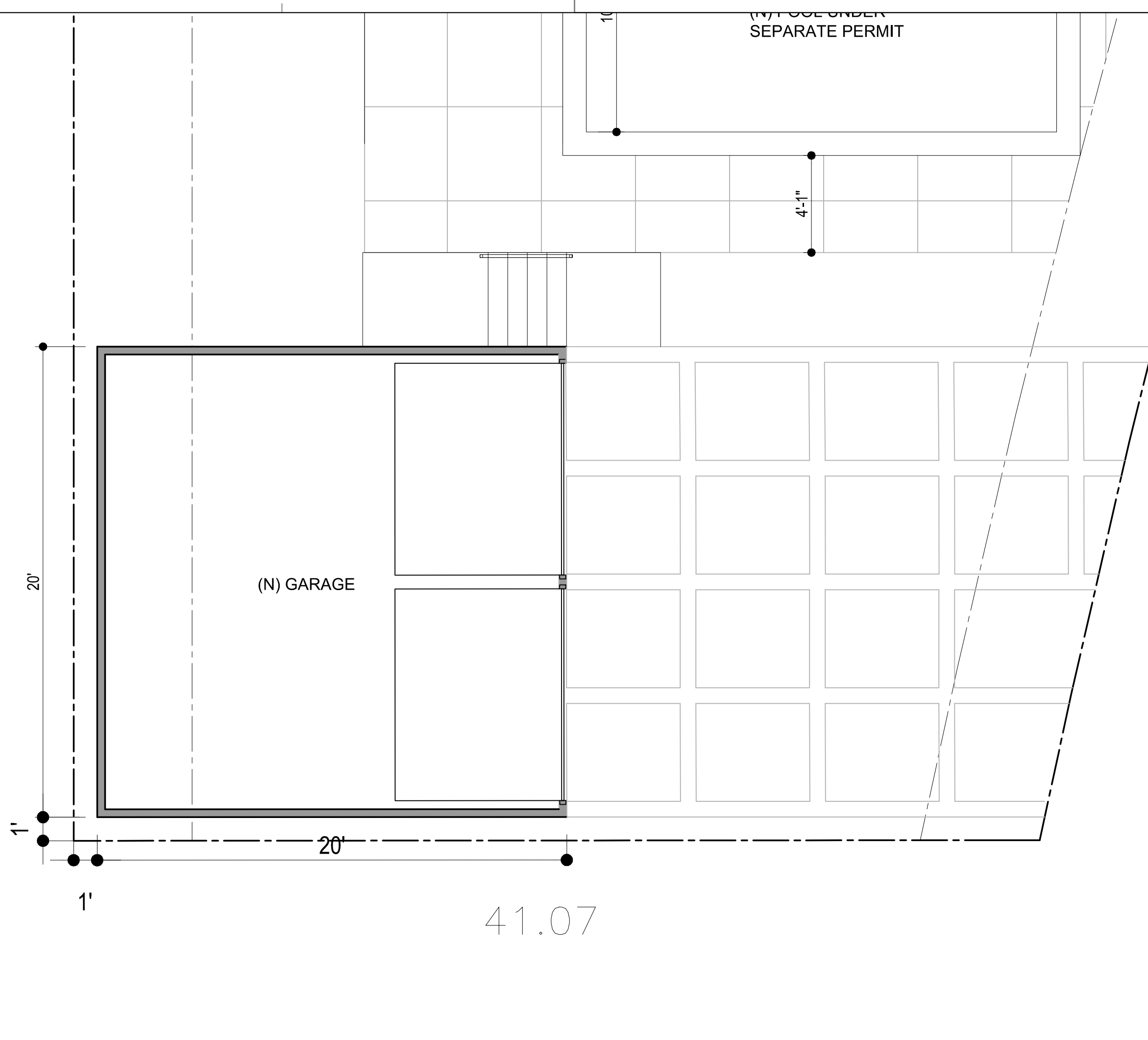
ELECTRICAL DEMO NOTES:
1. CAUTION!!...THIS BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL CIRCUITS ARE DE-ENERGIZED BEFORE ALLOWING ANY DEMOLITION.
2. PROTECT EXISTING PANELS AND DISTRIBUTION EQUIPMENT TO REMAIN. REMOVE AND DISPOSE OF PANEL AND EQUIPMENT SHOWN AND NOTIFY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLUCTS.
3. REMOVE AND DISPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE, J-BOXES, HANGERS, ETC., EXCEPT MAINLINE CIRCUITS WHICH ARE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION.
4. REMOVE & DISPOSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE, J-BOXES, HANGERS, ETC.
5. REMOVE AND DISPOSE OF ALL FLOOR BOXES IF ANY, AND PROVIDE FLUSH APPROVED COVERS AT EACH ACCESS HOLE.

MECHANICAL DEMO NOTES:
1. REMOVE AND DISPOSE OF ALL UNUSED HVAC EQUIPMENT AND DUCTWORK.
2. REMOVE ALL PLUMBING FIXTURES, PIPES, DRAINS, ETC., WHICH ARE NOT SHOWN TO BE REUSED. CAP LINES BELOW GRADE OR ABOVE CEILINGS.

FLOOR PLAN NOTES

- HARD WIRED SMOKE DETECTOR OR CARBON MONOXIDE ALARM W/ BATTERY BACK-UP
- LOW CONSUMPTION WATER CLOSET, 1.28 GALLONS MAXIMUM FLUSH
- BATHROOM EXHAUST FAN, ENERGY STAR COMPLIANT, 50 CFM HUMIDITYSTAT CONTROLLED, VENT TO OUTSIDE
- HOT MOPPED SHOWER W/TEMPERED OPAQUE SHATTERPROOF GLASS ENCLOSURE W/ TOWEL BAR
- BATHROOM SINK BY OWNER
- FIBERGLASS BATHTUB BY OWNER
- SHOWER BENCH
- SOLID SURFACE COUNTERTOPS AND SPLASH (TO BE DETERMINED BY OWNER)
- 30" KITCHEN SINK BY OWNER
- REFRIG. SPACE (39" MIN.) PROVIDE WATER LINE FOR ICE-MAKER
- POLE AND SHELF
- RAISE FLOOR ON 2x6 SLEEPERS TO MATCH ADJACENT
- 48" WOLFF GAS COOKTOP W/THRU HOOD VENT TO EXTERIOR.
- CRAWL SPACE ACCESS
- 1-HR FIRE SEPARATION WALL W/ STC 50 SOUND RATING (FLOOR TO ROOF)
- DISHWASHER UNDER-COUNTER BY OWNER
- PREP SINK BY OWNER, WITH GARBAGE DISPOSAL.
- VAULTED CEILING WITH 2-2x8 CEILING TIES @ 48" O.C..
- RELOCATE LADDER TO [E] MECHANICAL BASEMENT.
- WASHER SPACE. ROUGH-IN PLUMBING FOR HOT & COLD WATER & WASTE.
- DRYER SPACE. PROVIDE GAS CONNECTION. VENT DRYER TO OUTSIDE AIR.
- UNDERMOUNT SERVICE SINK.
- SPACE FOR IRDING BOARD.
- REMOVE DOOR OR WINDOW. INFILL WALL FINISH TO MATCH ADJACENT.
- FROSTED GLASS PARTITION WITH A 32" FROSTED GLASS BARN TYPE SLIDING DOOR
- N/A

RY USE OWNER SEPARATE PERMIT



PROPOSED FIRST FLOOR PLAN

1/4"=1'-0" 1

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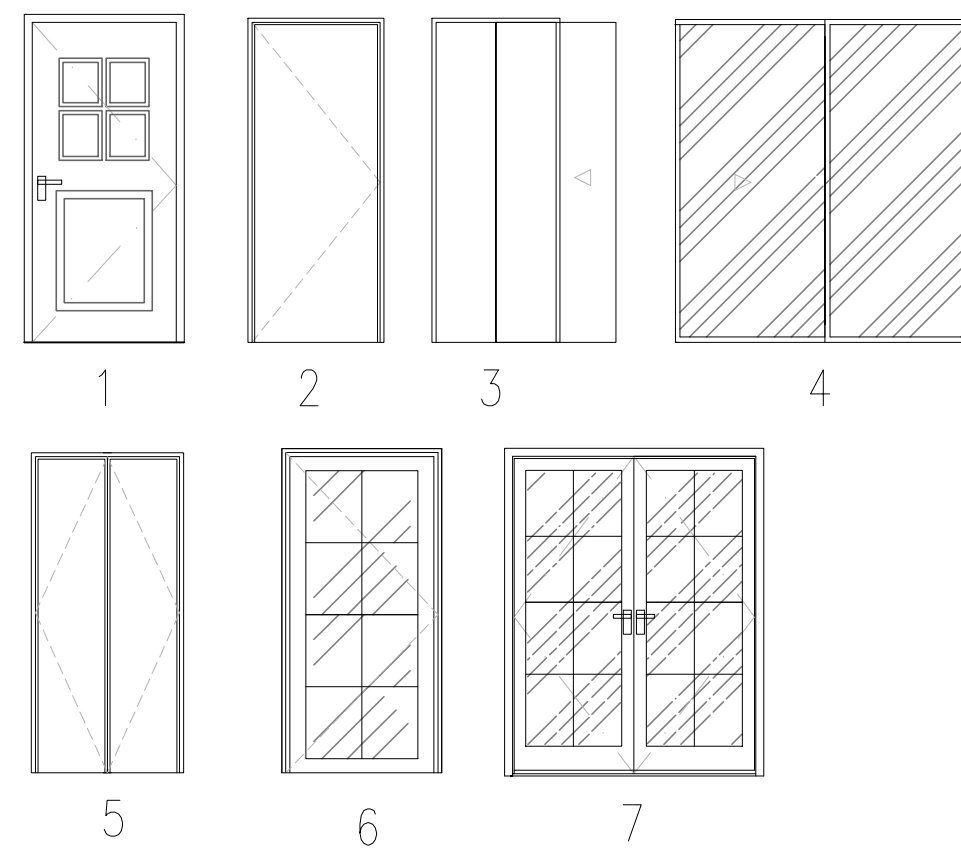
REVISIONS

CAD FILE: 2108-KHAIAI-MSTR1
SCALE: AS NOTED
DRAWN BY: JCC
DATE: APRIL 16, 2021
PHASE:
PRELIMINARY
SHEET TITLE:
FIRST FLOOR PLAN
DRAWING NUMBER:
A-2.2
JOB #: 2108-KHAIAI

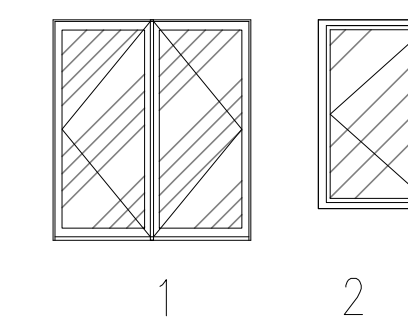
DOOR SCHEDULE						
SYM.	SIZE	TYPE	DESCRIPTION	QTY	FRAME	NOTATION
①	2'-8" x 6'-8"	1	EXT. SINGLE HINGED SIDE ENTRY	3	WOOD	1, 3, 4, 5
②	2'-8" x 6'-8"	2	INT. SINGLE HINGED DOOR	11	WOOD	1, 2
③	2'-8" x 6'-8"	3	INT. SINGLE POCKET DOOR	2	WOOD	1, 2
④	6'-0" x 6'-8"	4	INT. DOUBLE SLDG. CLOSET DOOR	6	WOOD	1, 2
⑤	5'-0" x 6'-8"	4	INT. DOUBLE SLDG. CLOSET DOOR	1	WOOD	1, 2
⑥	5'-0" x 6'-8"	7	EXT. DOUBLE HINGED FRENCH DOOR	3	WOOD	1, 3, 4, 5
⑦	2'-8" x 6'-8"	6	EXT. SINGLE HINGED FRENCH DOOR	3	WOOD	1, 3, 4, 5
⑧	2'-6" x 6'-8"	2	INT. SINGLE HINGED DOOR	1	WOOD	1, 2
⑨	5'-0" x 6'-8"	7	EXT. DBL HINGED SIDE ENTRY	1	WOOD	1, 3,

WINDOW SCHEDULE						
SYM.	SIZE	TYPE	DESCRIPTION	QTY	FRAME	NOTATION
①	3'-0" x 4'-6"	1	DOUBLE CASEMENT	3	VINYL	1,2,4,5,7,8,9
②	2'-0" x 3'-6"	2	SGL. CASEMENT WINDOW	3	VINYL	1,2,4,5,7,8,9
③	2'-0" x 6'-8"	3	OPENABLE SIDELIGHT	2	WOOD	1,3,4,5,7
④	4'-0" x 4'-0"	1	DOUBLE CASEMENT	4	VINYL	1,2,4,5,7,8,9
⑤						
⑥						
⑦						
⑧						
⑨						

- VERIFY ALL ROUGH OPENINGS AND DIMENSIONS PRIOR TO INSTALLATION.
- ALL NEW VINYL WINDOWS, AND SLIDING DOORS SHALL BE "MILCARD" WITH DUAL PANE GLAZING. (VERIFY BRAND W/ OWNER) WITH A U FACTOR < 0.32 AND SHGC < 0.25. FOLLOW MFGCT'S INSTRUCTIONS FOR PROPER HANDLING INSTALLATION & MAINTENANCE. WOOD EXTERIOR FRENCH AND INTERIOR DOORS TO BE T.M.COBBS OR EQUAL. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER HANDLING, INSTALLATION AND MAINTENANCE.
- ALL NEW EXTERIOR DOORS SHALL HAVE RESILIENT STOPS, AND SHALL BE FULLY GASKETED TO LIMIT AIR INFILTRATION.
- PROVIDE TEMPERED GLASS AT ALL GLASS DOORS (DOORS W/ GLASS IN THEM), ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN 18" OF AN ADJACENT FLOOR, APPROVED FOR IMPACT HAZARD, AND SHALL HAVE THE MANUFACTURER'S NAME PERMANENTLY SHOWN ON THE GLASS.
- DOOR & FRAME BETWEEN GARAGE AND HOUSE TO BE 3/4 HR. RATED. PROVIDE U.L. LABEL & SELF CLOSING HARDWARE.
- PROVIDE SCREEN AT ALL OPERABLE WINDOWS
- WHEN REQUESTED BY OWNER, PROVIDE OBSCURE OR PRIVACY GLASS AT BATHROOM WINDOWS.
- IN EACH BEDROOM, AT LEAST ONE WINDOW SHALL BE PROVIDED AS A MEAN OF ESCAPE OR RESCUE. IT SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FINISHED FLOOR. WHEN OPENED, SHOULD PROVIDE A MIN OPENABLE AREA OF 5.7 SQ FT. WITH A MIN WIDTH OF 20" CLEAR AND A MIN HEIGHT OF 24" CLEAR.
- AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)



DOORS

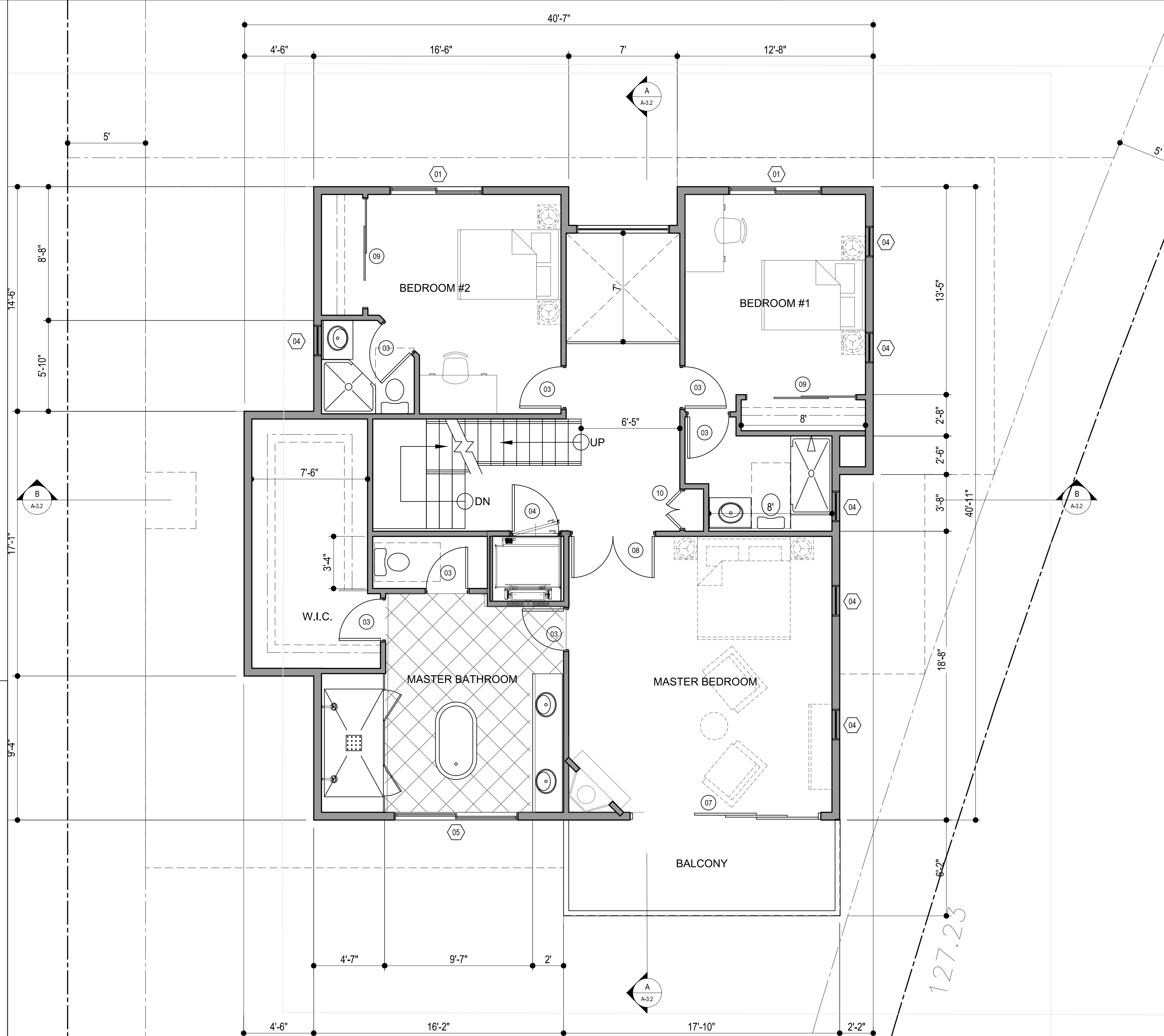


WINDOWS

WALL LEGEND

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- EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.
- NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" G.W.B. EACH SIDE
- 1-HR. FIRE RESISTING PARTITION. 2x4 STUDS MIN. @ 16" O.C. W/ 5/8" TYPE "X" G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.
- NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN

- NOTES:
- ALL DIMENSIONS ARE BASED ON THEIR RELATIONSHIP TO EXISTING CONSTRUCTION. CAREFULLY LAY OUT WORK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING. IF ANY DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE LAYOUT.
- DEMOLITION SHOWN IS FOR GENERAL REFERENCE ONLY. PERFORM ALL DEMOLITION AS REQUIRED TO ACCOMMODATE THE NEW WORK AND PATCH BACK AS REQUIRED. ALL EXISTING CONSTRUCTION TO REMAIN. REMOVE ALL UNUSED ROOFTOP EQUIPMENT, CURBS, ETC.
- SAW-CUTTING: THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAWCUTTING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB AND FOOTINGS FOR ALL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS.
- ASBESTOS ABATEMENT: THE OWNER SHALL PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT.
- ELECTRICAL DEMO NOTES:
- CAUTION !!! THIS BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL CIRCUITS ARE DE-ENERGIZED BEFORE ALLOWING ANY DEMOLITION. REMOVE AND DISPOSE OF PANEL AND EQUIPMENT SHOWN AND NOTIFY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLUCTS.
 - REMOVE AND DISPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE, J-BOXES, HANGERS, ETC., EXCEPT MAINTAIN CIRCUITS WHICH ARE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION.
 - REMOVE & DISPOSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE, J-BOXES, HANGERS, ETC.
 - REMOVE AND DISPOSE OF ALL FLOOR BOXES IF ANY, AND PROVIDE FLUSH APPROVED COVERS AT EACH ACCESS HOLE.
- MECHANICAL DEMO NOTES:
- REMOVE AND DISPOSE OF ALL UNUSED HVAC EQUIPMENT AND DUCTWORK.
 - REMOVE ALL PLUMBING FIXTURES, PIPES, DRAINS, ETC., WHICH ARE NOT SHOWN TO BE REUSED. CAP LINES BELOW GRADE OR ABOVE CEILING.



FLOOR PLAN NOTES

- HARD WIRED SMOKE DETECTOR OR CARBON MONOXIDE ALARM W/ BATTERY BACK-UP
- LOW CONSUMPTION WATER CLOSET, 1.28 GALLONS MAXIMUM FLUSH
- BATHROOM EXHAUST FAN, ENERGY STAR COMPLIANT, 50 CFM HUMIDITYSTAT CONTROLLED, VENT TO OUTSIDE
- HOT MOPPED SHOWER W/TEMPERED OPAQUE SHATTERPROOF GLASS ENCLOSURE W/ TOWEL BAR
- BATHROOM SINK BY OWNER
- FIBERGLASS BATHTUB BY OWNER
- SHOWER BENCH
- SOLID SURFACE COUNTERTOPS AND SPLASH (TO BE DETERMINED BY OWNER)
- 30" KITCHEN SINK BY OWNER
- REFRIG. SPACE (39" MIN.) PROVIDE WATER LINE FOR ICE-MAKER
- POLE AND SHELF
- RAISE FLOOR ON 2x6 SLEEPERS TO MATCH ADJACENT
- 48" WOLFF GAS COOKTOP W/THRU HOOD VENT TO EXTERIOR.
- CRAWL SPACE ACCESS
- 1-HR FIRE SEPARATION WALL w/ STC 50 SOUND RATING (FLOOR TO ROOF)
- DISHWASHER UNDER-COUNTER BY OWNER
- PREP SINK BY OWNER, WITH GARBAGE DISPOSAL.
- VAULTED CEILING WITH 2-2x8 CEILING TIES @ 48" O.C.,
- RELOCATE LADDER TO [E] MECHANICAL BASEMENT.
- WASHER SPACE. ROUGH-IN PLUMBING FOR HOT & COLD WATER & WASTE.
- DRYER SPACE. PROVIDE GAS CONNECTION. VENT DRYER TO OUTSIDE AIR.
- UNDERMOUNT SERVICE SINK.
- SPACE FOR IRONING BOARD.
- REMOVE DOOR OR WINDOW, INFILL WALL. FINISH TO MATCH ADJACENT.
- FROSTED GLASS PARTITION WITH A 32" FROSTED GLASS BARN TYPE SLIDING DOOR
- N/A

PROPOSED SECOND FLOOR PLAN

1/4"=1'-0" 1

NEW 2-STORY O/ BASEMENT S.F.D.
for: LAURENT & AKEMI KHAIAI

10750 LINDBROOK DRIVE
LOS ANGELES, CA 90024
contact: LAURENT KHAIAI 310.339.7980

NO.	REVISIONS
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CAD FILE: 2108-KHAIAI-MSTR1
SCALE: AS NOTED
DRAWN BY: JCC
DATE: APRIL 16, 2021
PHASE: PRELIMINARY
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DRAWING NUMBER: A-2.3
JOB #: 2108-KHAIAI



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WALL LEGEND

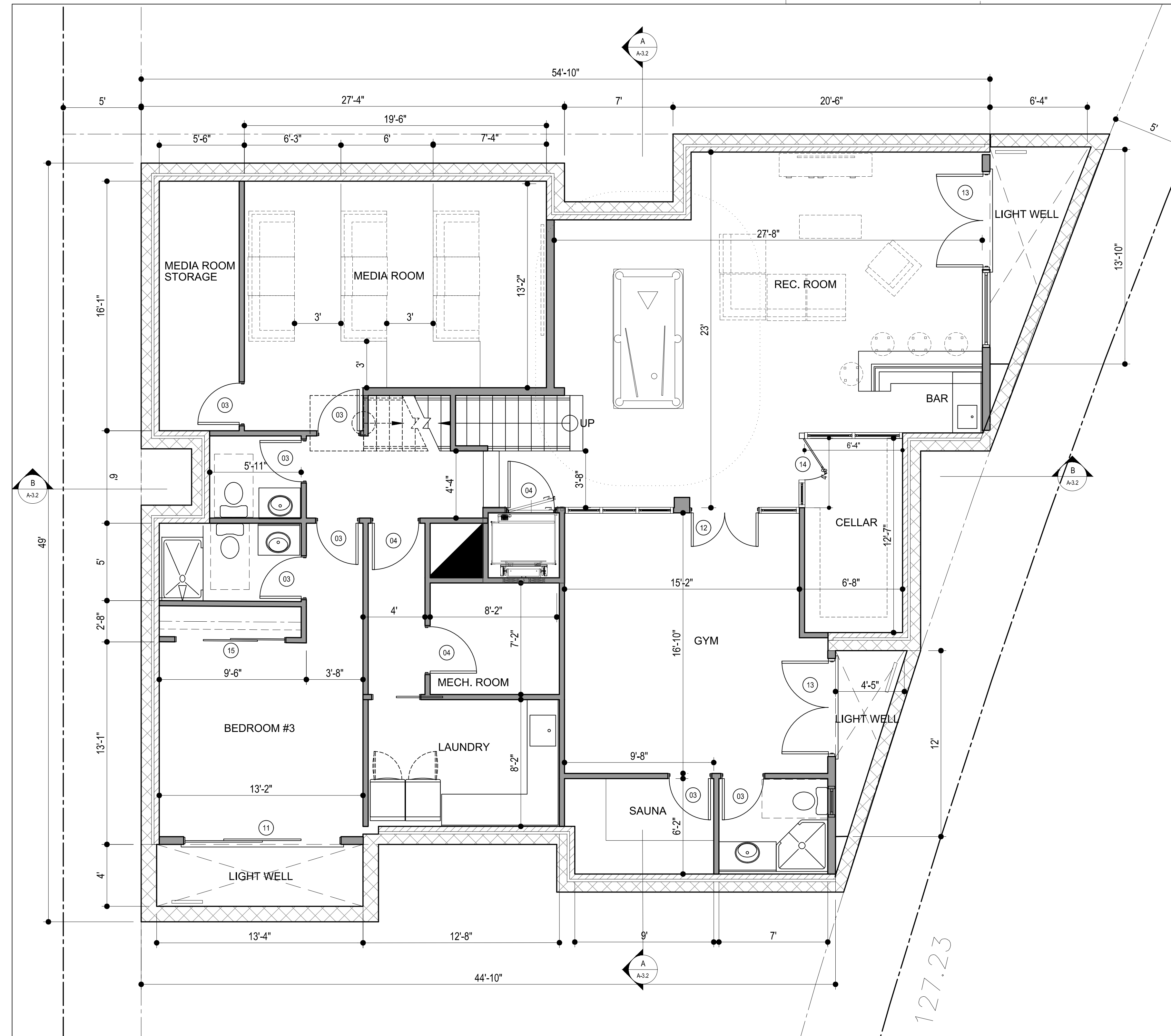
- EXISTING WALLS TO REMAIN
- EXIST. WALLS, FIXTURES & EQUIPMENT TO BE REMOVED. VERIFY EXTENTS ON PLAN.
- ▬ NEW WALLS: 2x4 STUDS U.N.O. @ 16" oc WITH 5/8" G.W.B. EACH SIDE
- ▬ 1-HR. FIRE RESISTING PARTITION. 2x4 STUDS MIN. @ 16" O.C. W/ 5/8" TYPE "X" G.W.B. EA. SIDE. IF WALL IS EXISTING, VERIFY CONDITION.
- ▬ NEW OR EXIST. C.M.U. WALL. THICKNESS PER PLAN

NOTES:
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DEMOLITION:
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SAW-CUTTING:
 THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAW-CUTTING, TRENCHING, RECOMPACTION AND PATCH BACK THE CONC. SLAB AND FOOTINGS FOR ALL UNDERGROUND PLUMBING AND ELECTRICAL WORK AND FOOTINGS. VERIFY EXTENTS.
ASBESTOS ABATEMENT:
 THE OWNER SHALL PROVIDE ALL REQUIRED ASBESTOS ABATEMENTS UNDER A SEPARATE CONTRACT.
ELECTRICAL DEMO NOTES:
 1. CAUTION !!! THIS BUILDING IS ENERGIZED. GENERAL CONTRACTOR IS TO PROVIDE A QUALIFIED ELECTRICIAN TO ENSURE ALL CIRCUITS ARE DE-ENERGIZED BEFORE ALLOWING ANY DEMOLITION.
 2. PROTECT EXISTING PANELS AND DISTRIBUTION EQUIPMENT TO REMAIN. REMOVE AND DISPOSE OF PANEL AND EQUIPMENT SHOWN AND NOTIFY ELECTRICAL ENGINEER OR THE ARCHITECT OF ANY FLUCTS.
 3. REMOVE AND DISPOSE OF ALL UNUSED LIGHTING CIRCUITS, BOTH CONDUIT & WIRE, J-BOXES, HANGERS, ETC., EXCEPT MAINTAIN CIRCUITS WHICH ARE REQUIRED FOR TEMPORARY LIGHTING DURING CONSTRUCTION.
 4. REMOVE & DISPOSE OF ALL UNUSED POWER CIRCUITS, BOTH CONDUIT AND WIRE, J-BOXES, HANGERS, ETC.
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REVISIONS

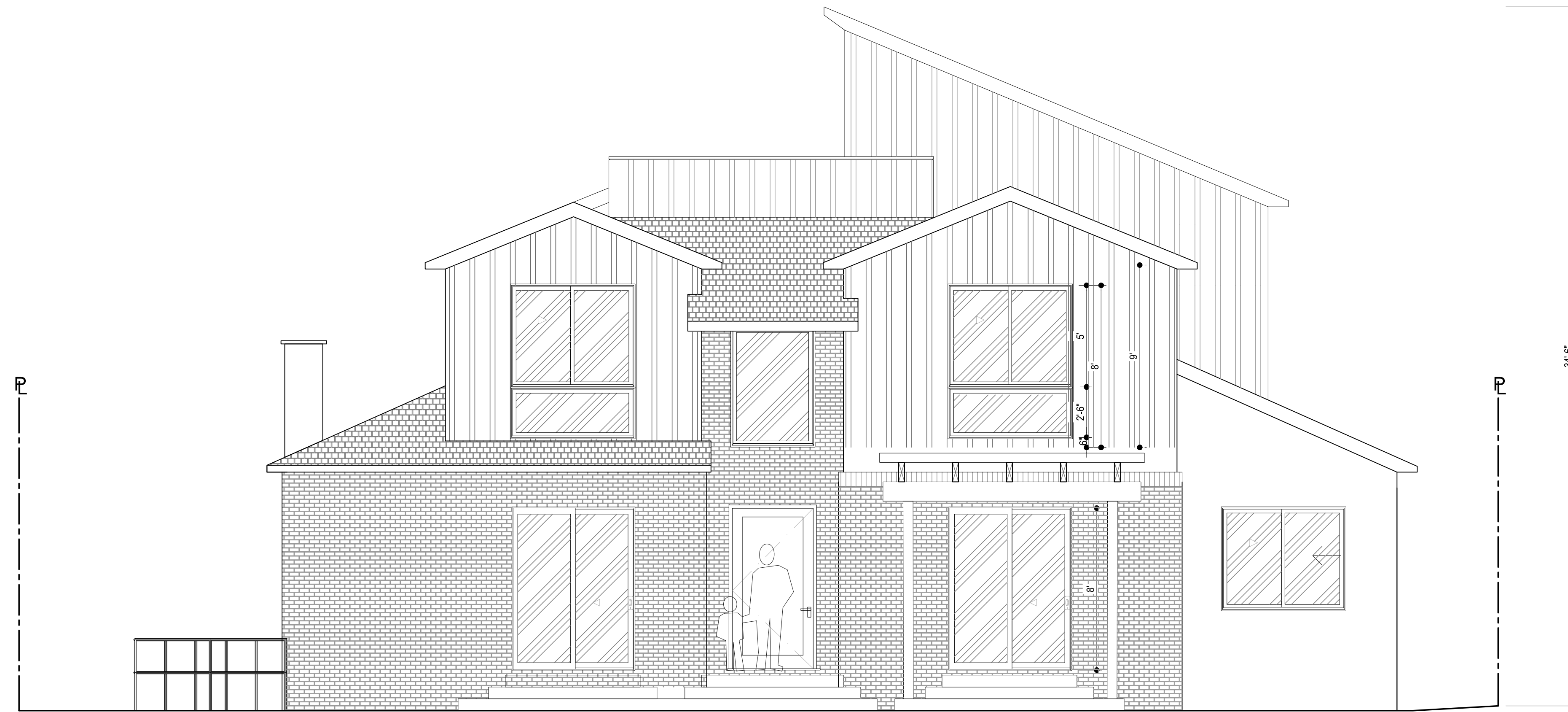
CAD FILE: 2108-KHAIAI-MSTR1
 SCALE: AS NOTED
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 DATE: APRIL 16, 2021
 PHASE: PRELIMINARY
 SHEET TITLE: BASEMENT FLOOR PLAN
 DRAWING NUMBER: A-2.4

PROPOSED BASEMENT FLOOR PLAN

1/4"=1'-0" 1

ELEVATIONS / SECTIONS NOTES

1. EXTERIOR STUCCO OVER METAL LATH AND 15 LBS. MIN. FELT PAPER. COLOR AND TEXTURE TO BE SELECTED BY OWNER.
2. RAIN TANK PER L.I.D.
3. RAIN GUTTER
4. CLASS 'A' FIRE RETARDANT 20 YR. MIN. COMPOSITION SHINGLES. SEE SPECS ON ROOF PLAN.
5. EXTERIOR EXPOSED OPEN HARDWOOD DECKING. MATERIAL APPROVED PER L.A. BLDG. CODE
6. WATER CRICKET
7. EXISTING ROOF LINE TO BE REMOVED
8. R-38 COMPRESSED FIBER MINERAL BATT. INSULATION
9. R-13 FIBER MINERAL BATT. INSULATION AT ALL EXTERIOR WALLS
10. NEW DOORS PER SCHEDULE. [SEE A-2]
11. NEW WINDOWS PER SCHEDULE. [SEE A-2]
12. EXISTING ROOF RAFTER
13. 2x4 DOUBLE PLATE
14. 2x4 P.T. SILL PLATE
15. NEW RIDGE BOARD
16. EXISTING HEADER
17. EXISTING CONCRETE SLAB AND CONCRETE FOUNDATION TO REMAIN, VERIFY FTNG. DIM. 12"x12" MIN.
18. NEW CONCRETE SLAB AND CONCRETE FOUNDATION [SEE STRUCTURAL PLANS]
19. EXISTING ROOF TO REMAIN UNDER NEW CALIFORNIA ROOFING
20. NEW CEILING JOISTS BY STRUCTURAL PLANS @ 16" O.C.
21. REMOVE EXISTING OPENING AND IN-FILL WALL
22. NEW ATTIC VENTS PER VENTILATION CALC. SEE A-1.2



[NORTH] LINDBROOK DR. FRONT ELEVATION

1/4"=1'-0" 1



[EAST] SELBY AVE. SIDE ELEVATION

1/4"=1'-0" 1



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**ELEVATIONS
& DETAILS**

DRAWING NUMBER

A-3.1

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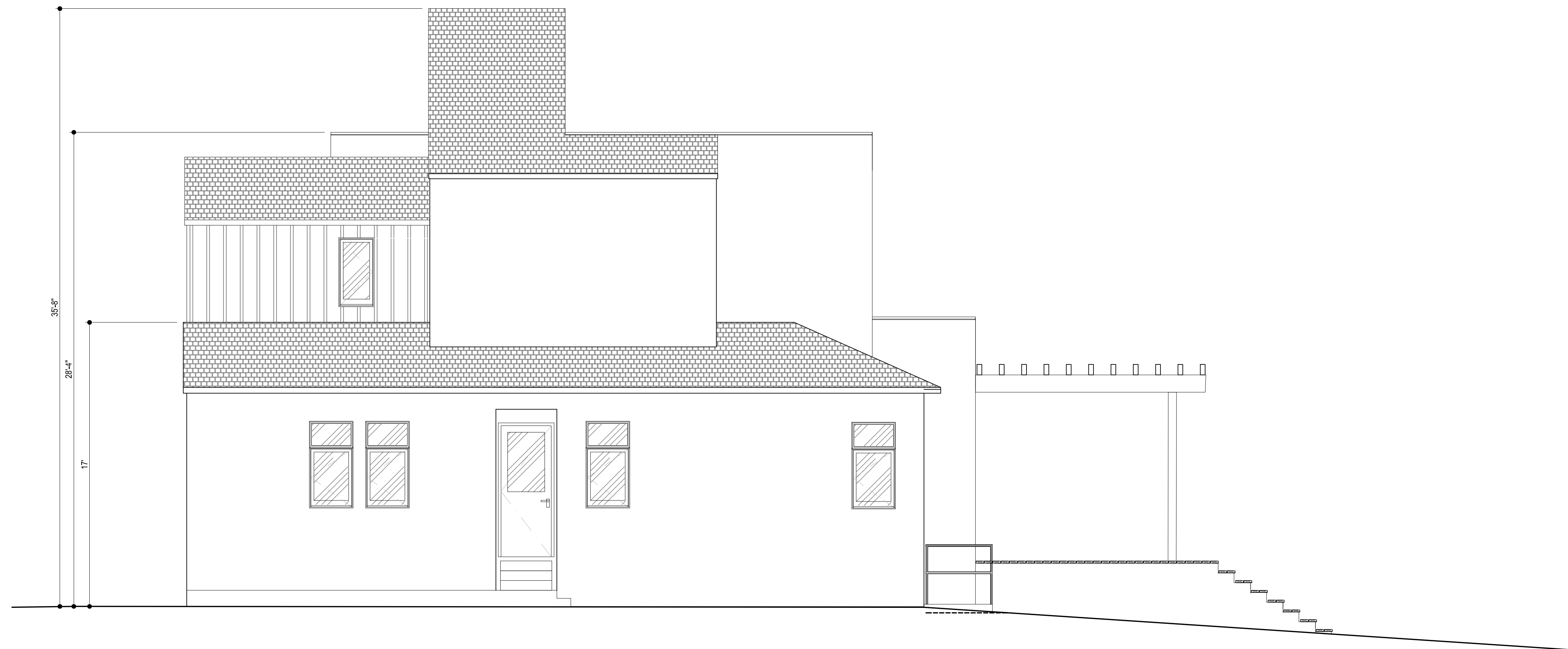
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[SOUTH] REAR ELEVATION

1/4"=1'-0" 1



[WEST] SIDE ELEVATION

1/4"=1'-0" 1



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**ELEVATIONS
& DETAILS**

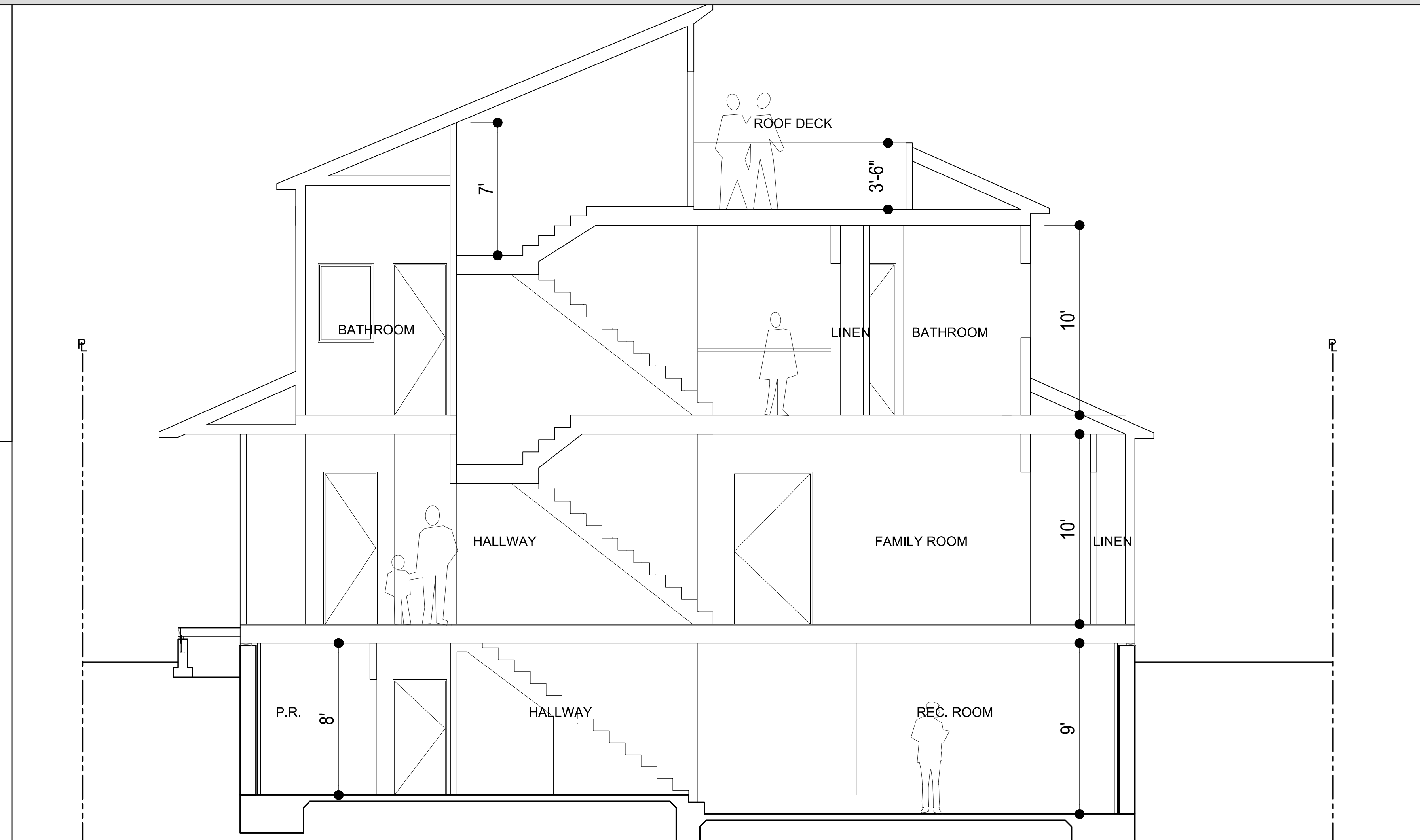
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JOB #: 2108-KHAIAI

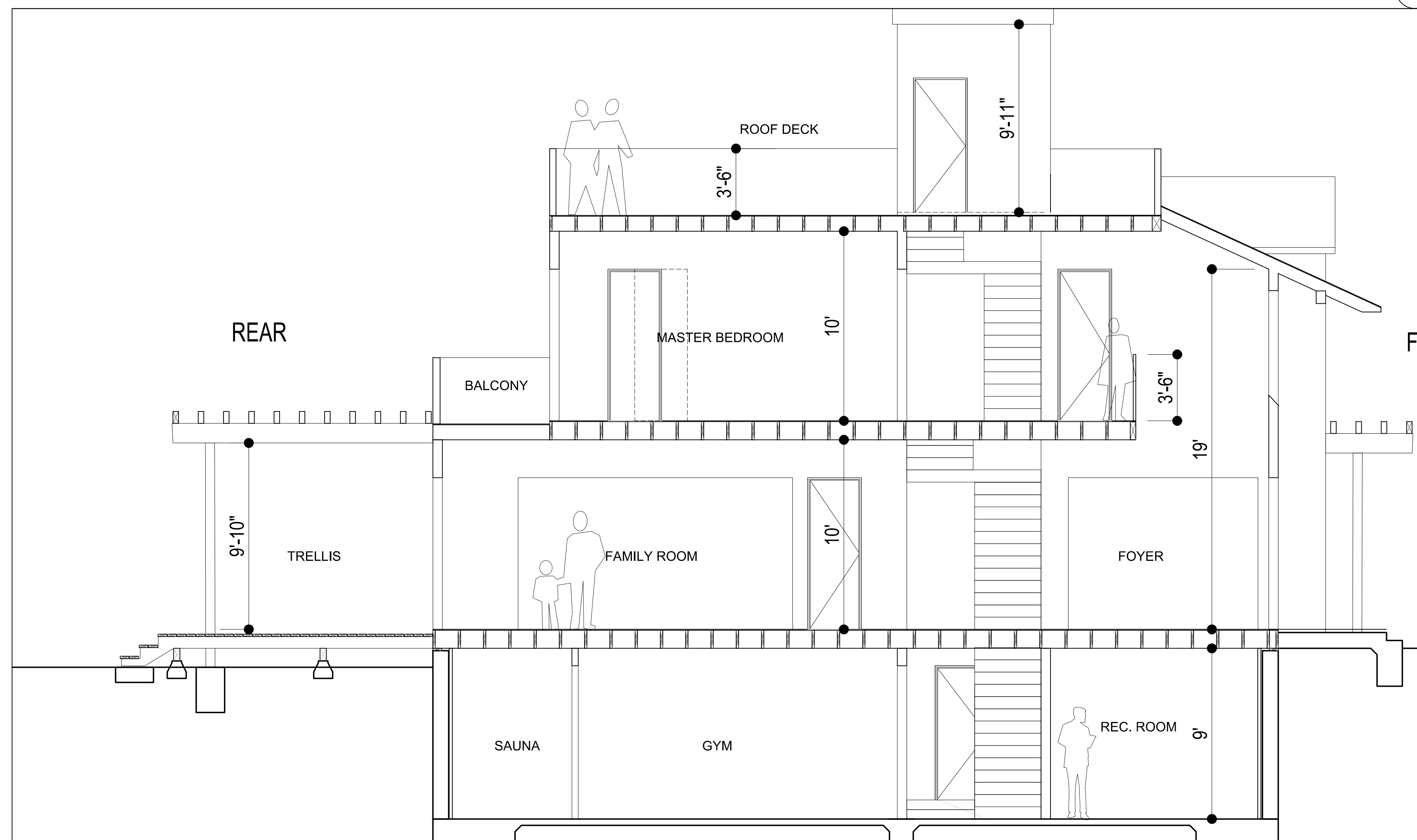
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SECTION B-B

1/4"=1'-0" 2



SECTION A-A

1/4"=1'-0" 1



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